

COUNTY OF KANE

DEVELOPMENT DEPARTMENT
Building and Community Services Division
Mark D. VanKerkhoff, AIA Director



County Government Center
719 Batavia Avenue
Geneva, Illinois 60134
Phone: (630) 232-3485
Fax: (630) 232-3411
Website: www.co.kane.il.us

RESIDENTIAL DECKS INFORMATION PACKET

THIS PACKET CONTAINS INFORMATION REGARDING ITEMS THAT NEED TO BE SUBMITTED
AT THE TIME OF APPLICATION FOR A RESIDENTIAL DECK
AND OTHER RELATED INFORMATION

REQUIRED SUBMITTALS AT TIME OF APPLICATION:

- Building Permit Application
- 2 complete sets of building plans
- 3 copies of a site plan drawn to scale - no larger than 11x17

GENERAL INFORMATION

- Fees are \$25.00 per 100 square feet plus 10% plan review (\$100 minimum fee)

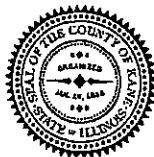
ADDITIONAL INFORMATION FOR YOUR REFERENCE (enclosed):

- Site Plan Requirements
- Building and Zoning Rules and Regulations
- Building Permit Fee Schedule
- Wood Patio Deck Plan Requirements
- Residential Design Criteria
- Building Plan Revisions

NOTE: Copies of the Building Regulations effective May 15, 2004, are available upon request

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RESIDENTIAL SITE PLAN REQUIREMENTS

THREE (3) COPIES OF A CURRENT PLAT OF SURVEY SHOWING PROPOSED CONSTRUCTION OR SITE PLAN DRAWN TO SCALE

- Required with application for permits for any new construction and additions on parcels 5.0 acres or less. (new residences, additions, detached accessory buildings, sheds, pools, decks and fences)
- Plat of survey must be a complete legible copy that includes the legal description as well as the surveyor's name and date of survey. A site plan drawn to scale or a reproduction of a plat of survey is acceptable if it includes the surveyor's name, date of survey and includes all easements and other information from the original plat of survey.
- Site Plan must include all existing buildings, driveways, improvements and easements.**
- Proposed new construction must be drawn on the Site Plan to scale, list exterior dimensions of proposed new construction and indicate dimensions from property lines.
- Location of existing well and septic system must be indicated, if applicable.
- The size of the copies can be no larger than 11x17 paper size. If the site plan must be reduced to meet this requirement it must be reduced to scale with the new reduced scale indicated. The site plan copies must be separate from any building plans.

THREE (3) COPIES OF A CURRENT PLAT OF SURVEY SHOWING PROPOSED CONSTRUCTION, SITE PLAN DRAWN TO SCALE OR SITE PLAN FORM*

- Required with application for permits for new construction and additions on parcels larger than 5 acres. (new residences, additions, detached accessory buildings, sheds, pools, decks and fences)
- Plat of Survey, Site Plan or Site Plan Form must include all existing buildings, driveways, improvements and easements.**
- Proposed new construction must be drawn on the Plat of Survey, Site Plan or Site Plan Form, list exterior dimensions of proposed new construction and indicate dimensions from property lines.
- Location of existing well and septic system must be indicated, if applicable.
- The size of the copies can be no larger than 11x17 paper size. If the plat of survey must be reduced to meet this requirement it must be reduced to scale with the new reduced scale indicated. The site plan copies must be separate from any building plans.

* Site Plan Forms are available at the Building & Community Services Division.

** For parcels that contain any areas in a flood plain, contact Water Resources Department for additional requirements.

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BUILDING AND ZONING SETBACKS AND REGULATIONS

A. NEW SINGLE FAMILY RESIDENCES – SETBACKS

1. Distance required from any road right-of-way is thirty-five (35) feet unless stipulated greater on zoning map or recorded plat. Some exceptions may exist in older neighborhoods.
2. Distance required from side and back lot lines is ten (10) feet and three (3) feet from any easement. Lots of record of fifty (50) feet or less in width: Distance required from side lot lines is five (5) feet.

B. ADDITIONS TO SINGLE FAMILY RESIDENCES

1. Lot line setbacks apply as stated above.
2. Distance from septic field – ten (10) feet. Distance from septic tank – five (5) feet.

C. DECKS

1. Decks and Patios not over three (3) feet above grade and not roofed over may encroach into a setback area, but must stay three (3) feet from any easement.

D. INGROUND POOLS/ABOVE GROUND POOLS

1. Lot line setbacks apply as stated in A, B, & C above.
2. Distance from septic tank and field – twenty-five (25) feet (Inground Pool) and ten (10) feet (Above Ground Pool).
3. Every person owning land on which there is situated a swimming pool shall erect and maintain adequate enclosure surrounding the property or pool area. Such enclosure must not be less than four (4) feet high with latching gate.
4. IF ABOVE GROUND POOL sides are four (4) feet high and NOT dug into the ground- a fence is not required; however, stairs need to be pulled up when not in use.

E. ACCESSORY BUILDINGS (DETACHED GARAGES/SHEDS/ BARN)

ZONING RESTRICTIONS

1. Not more than two (2) detached buildings accessory to a residence are permitted.
2. On lots of two (2) acres or less in size, the detached accessory buildings or structures shall not exceed a combined total of nine hundred (900) square feet in total floor area under roof.
3. On lots greater than two (2) acres in size, but less than five (5) acres in size, the detached buildings or structures shall not exceed a combined total of one thousand eight hundred (1,800) square feet in total floor area under roof.
4. No accessory or incidental building or structure may be constructed on any lot prior to the time of construction of the principal building to which it is accessory.

SETBACKS

1. Distance required from any road right-of-way is thirty-five (35) feet unless stipulated greater on zoning map or recorded plat.
2. Side and Back Lot Lines
 - a. Distance required from side and back lot line is ten (10) feet and three (3) feet from any easement.
 - b. Lots of fifty (50) feet or less in width require a distance from side lot lines of five (5) feet.
 - c. If accessory building is placed back on lot seventy-five (75) feet or more from the front property line (road right-of-way line), the side and back lot line setback is reduced to a minimum of three (3) feet. If an easement is involved, a three (3) foot distance from the easement is required.
3. Agricultural animals must be housed and yarded no closer than one hundred (100) feet from any residence other than that of the owner or user of the property.

F. FENCES

1. Any privacy fence requires a building permit. A privacy fence is described as one that cannot be viewed through. Chain link or split rail fences do not require permits.
2. A fence can be placed up to the lot line with front side facing either direction. No height limit. Fences placed in drainage or other recorded easements shall not block or alter drainage and are governed by the recorded restrictive language of the easement.
3. Zoning Ordinance: Sec. 7.5-3

Within one hundred feet (100) of the center line of any intersecting road, street, railroad at grade, no fence or hedge which cannot be viewed through or over from a three foot (3') height above the traveled roadway shall be constructed, planted, or allowed to grow nearer to the road or street center line than the dimensions set in forth in Sec. 7.5-2.
4. No fence equipped with or having barbed wire, spikes or any similar device, or any electrically charged fence, sufficient to cause shock, shall be erected, placed or maintained on or within any lot used for residential purposes.

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BUILDING PERMIT FEE SCHEDULE

Effective May 15, 2004

BUILDING PLAN REVIEW FEES

- 10% of building fee as calculated below (\$8.00 minimum fee) for all permits except pools and sheds under 200 square feet
- Independent review fees may be applicable for non-residential construction
- Re-examination for changes to approved plans - \$50.00 (increases in area additional)

RESIDENTIAL CONSTRUCTION (not over 2 single family dwelling units)

New Residence

- \$25.00 per 100 square feet of overall area of each floor above ground, and basement area - (\$200.00 minimum fee)
- \$10.00 per 100 square feet of overall crawl space - (\$100.00 minimum fee)

Addition to Residence

- \$25.00 per 100 square feet of overall area of each floor above ground, basement and crawl area - (\$100.00 minimum fee)

Accessory Building

- \$50.00 - less than 200 square feet
- 200 square feet or larger - \$100.00 minimum fee, \$25.00 per one hundred 100 square feet

Alterations, remodeling, re-roofing, re-siding (not part of an addition to an existing building)

- \$50.00 - \$1,000.00 or less of estimated cost
- \$10.00 for each additional \$1,000.00 of estimated cost

Electrical Service Upgrade

- \$50.00

SWIMMING POOLS

- \$60.00 - Above ground pool
- \$180.00 - In ground pool

FENCES

- \$25.00 - A fence which cannot be viewed through

DAMAGE ASSESSMENT AND REPAIR - due to fire, wind or flood

- A minimum fee of \$50.00 for the initial assessment of damage. Additional fees shall apply as required by the type of repair, alteration or reconstruction of the damaged building. Additional permits and subsequent fees may be required.

DEMOLITION

- \$50.00 - Building under 500 square feet
- \$75.00 - Building 500square feet or over
- \$100.00 - Residence or commercial building

AGRICULTURAL EXEMPTION SETBACK PERMIT

- \$50.00 - A permit is required for agriculturally exempt buildings strictly for the purpose of determining conformance with building setback lines as allowed in the Illinois Compiled Statutes; 5/5-12001.

ALL OTHER CONSTRUCTION (Business, Institutional, Commercial)

New construction and additions

- \$30.00 per 100 square feet, or portion thereof, of overall area of each floor above ground - (\$300.00 minimum fee)
- \$30.00 per 100 square feet of overall basement and crawl space - (\$300 minimum fee)

Alterations, remodeling, re-roofing, re-siding (not part of an addition to an existing building)

- \$50.00 - \$1,000.00 or less of estimated cost
- \$10.00 for each additional \$1,000.00 of estimated cost

Electrical Service Upgrade

- \$100.00

ESTABLISHMENT OF USE

- \$50.00 – required to establish a new business, commercial or institutional use in a new or existing building

ADVERTISING SIGNS AND BILLBOARDS

- \$4.00 per square foot (\$20.00 minimum)

TOWERS (including associated equipment structures)

- New towers - \$25.00 per each foot of tower height
- Co-location of antennae on existing towers or structures - \$1,200.00

MOVING, RAISING, SHORING OR UNDERPINNING OF STRUCTURES

- \$50.00 - Less than 1,000 square feet ground floor area (outside measurements)
- \$100 - 1,000 or over square feet ground floor area (outside measurements)
- Foundation - \$10.00 per 100 square feet of overall unfinished basement area and crawl space (\$100.00 minimum fee plus a plan examination fee)

PERMIT EXTENSION

- \$50.00 – For up to six months upon written request stating justifiable cause and projected date of completion. Subject to approval by the Building Officer.

RE-INSPECTION FEES

A reinspection fee of \$50.00 shall be paid prior to scheduling the reinspection, necessitated by either of the following conditions:

- All second and subsequent reinspections.
- When the construction work to be inspected was incomplete at the time the Building Inspector arrived at the construction site for a scheduled inspection and the holder of the building permit failed to provide reasonable notice to cancel said scheduled inspection.

RELIGIOUS, EDUCATIONAL OR CHARITABLE PURPOSES

- Whenever the construction, alteration or addition is being made for religious, educational or charitable purposes, the maximum fee for each permit issued and for all services in connection therewith shall be \$500.00.

WORK STARTED WITHOUT PERMIT

- Where work for which a permit is required by this Article is started or proceeded with, prior to obtaining said permit, the fees above specified shall be increased by 100 percent (100%)

PERMIT OR PERMIT APPLICATION CANCELLATION

- A permit application will be considered canceled when the applicant fails to provide requested information that the minimum code requirements have been met within six (6) months from the date of application. The applicant will owe the plan examination fee plus twenty-five percent (25%) of the total building fee.
- When a permit has already been issued, an applicant may only cancel, in writing, within six (6) months of the date of issuance of such permit, if no construction has commenced. The applicant will receive a refund of seventy-five percent (75%) of the building permit fee less the plan examination fee and any fees assessed by other departments. If no inspections are scheduled within six (6) months of date of issuance, the permit will be canceled and the entire building fee forfeited.

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WOOD PATIO DECK PLAN REQUIREMENTS

1. Two (2) sets of the building plans, drawn at 1/4" to 1'-0 scale.
2. The building plans must show the following:
 1. The overall size of the deck features in plan view.
 2. The locations with dimensions of all piers, beams, stairs and the direction of joists.
 3. The minimum pier footing is 8" thick and 12" diameter. Required deck pier footing depths are 42" for structures with frost footings and 24" deep for free standing decks (decks not attached to house).
 4. The loading on the deck is 40# live and 10# dead load for each square foot of deck surface including the stairs. Specify the soil pounds per square foot bearing capacity at the building site or a 3000-pound per square foot minimum soil pressure will be assumed. Design the pier sizes and locations to support the imposed loads.
 5. Show the grade, species and size of the lumber used. The lumber must be rot resistant or a treated material.
 6. Raised floor areas a total of 30 inches above the ground shall have guardrails. The minimum height of platform guardrails shall be 36 inches and railings on open side of stairs shall be 34" to 38". Open side of stairs with a total rise of less than 30" require a handrail only.
 7. Guardrail opening limitations will not allow passage of a 4" diameter sphere.
 8. The ledger board must be attached directly to the structures wood, steel framing or concrete foundation by a bolted connection. Decks attached to "new" structures will require machine bolts with washers. On older structures where machine bolts cannot be use lag bolts with washers may be approved. Concrete anchors must be a minimum of six (6) inches in length. Ledger boards are prohibited from attachment thru siding. Ledger board attachment thru any stone veneer must be designed by an Illinois registered structural engineer or architect. Provide continuous flashing, with drip edge, over the ledger board.
 9. Minimum fastener size for bolts or "lag bolts (used on approval only)" is 1/2" diameter with washers under the bolt head and nut. All attachments must be to structural members only.
 10. If you are building a multilevel deck configuration show the decks in "plan view" marked; upper deck, lower deck, etc. and a section thru each level step-up to show the construction.
 11. Post-base anchors are required for all posts or beams "setting-on" any type of foundation system. Exception: Post "setting-on" footings 42" or more below grade.
 12. Show the distance of the deck floor is above the ground.
 13. "Ready-mix" concrete is required, no "dry-mix" dumped into the footings.
 14. Handrail grip-size R311.5.6.3 IRC code section "Means of Egress" shall apply to exterior decks. Grip sizes: Type I: 1-1/4" to 2" Dia. Or Type II: 1-1/4" to 2-3/4" grip width above the grip recess. Grip recess: see code for the size and location.
 15. Open and closed riser stairs, show what type to be used follow R311.5.3.3 "Profile" Open rise are permitted, provided that the opening between treads does not permit the passage of a 4" sphere.

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RESIDENTIAL DESIGN CRITERIA

Include this information on building plans

FLOOR	40# LL 10# DL ALL AREAS EXCEPT SLEEPING
FLOOR	30# LL 10# DL SLEEPING AREAS
WALLS	60# PLF OR ACTUAL
CEILINGS	20# LL 10# DL
	10# LL 5# DL ROOF SLOPES NOT OVER 3 IN 12
ROOF	30# LL 10# DL
CATHEDRAL	30# LL 15# DL
EXT. DECKS	40# LL 10# DL
EXT. BALCONY	60# LL 10# DL

FRAMING LUMBER

(FLOOR JOISTS, CEILINGS JOISTS, RAFTERS, HEADERS AND BEAMS)

GRADE _____ SPECIES _____ DOMESTIC OR CANADIAN BASE FB = _____
(CIRCLE ONE)

SOUTHERN PINE OR MIXED SOUTHERN PINE LUMBER

GRADE _____ SPECIES _____

PRESSURE TREATED: YES OR NO

ENGINEERED WOOD PRODUCT

(BEAMS & GIRDERS)

MANUFACTURER _____ PRODUCT TYPE _____
(LVL, PSL, LSL, GLU-LAM)

SIZE _____ FB= _____ E= _____

PRESSURE TREATED: YES OR NO

ENGINEERED WOOD PRODUCT

(I-JOIST)

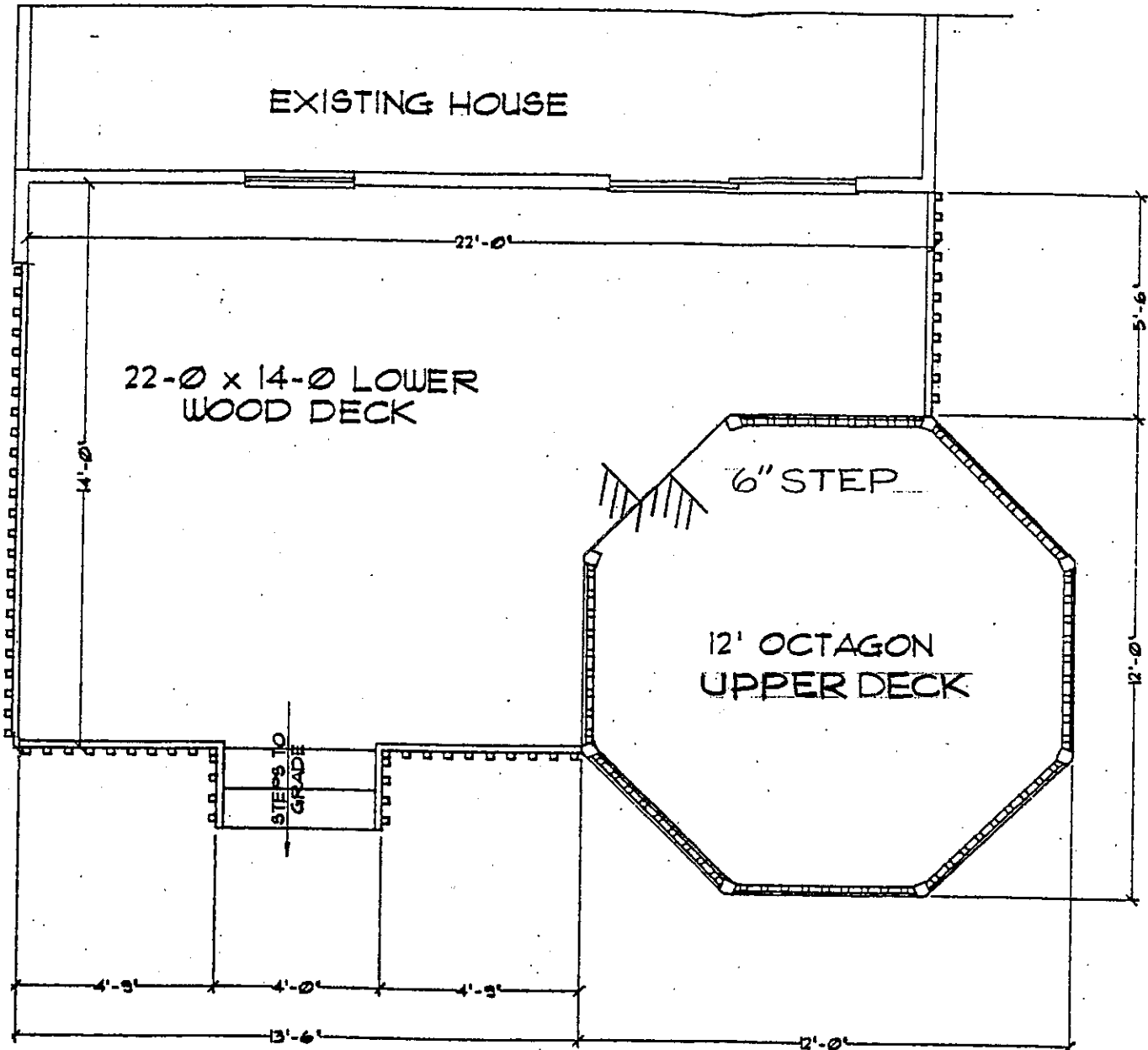
MANUFACTURER _____ SERIES# _____ SIZE _____

ENGINEERED WOOD PRODUCT

(STUDS & COLUMNS)

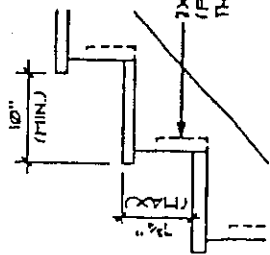
MANUFACTURER _____ PRODUCT TYPE _____

PRESSURE TREATED: YES OR NO



PLAN VIEW OF FINISHED DECK

Show lumber Grade _____ Species _____
 Southern Pine or mixed Southern Pine
 Lumber
 Pressure treated Yes or No

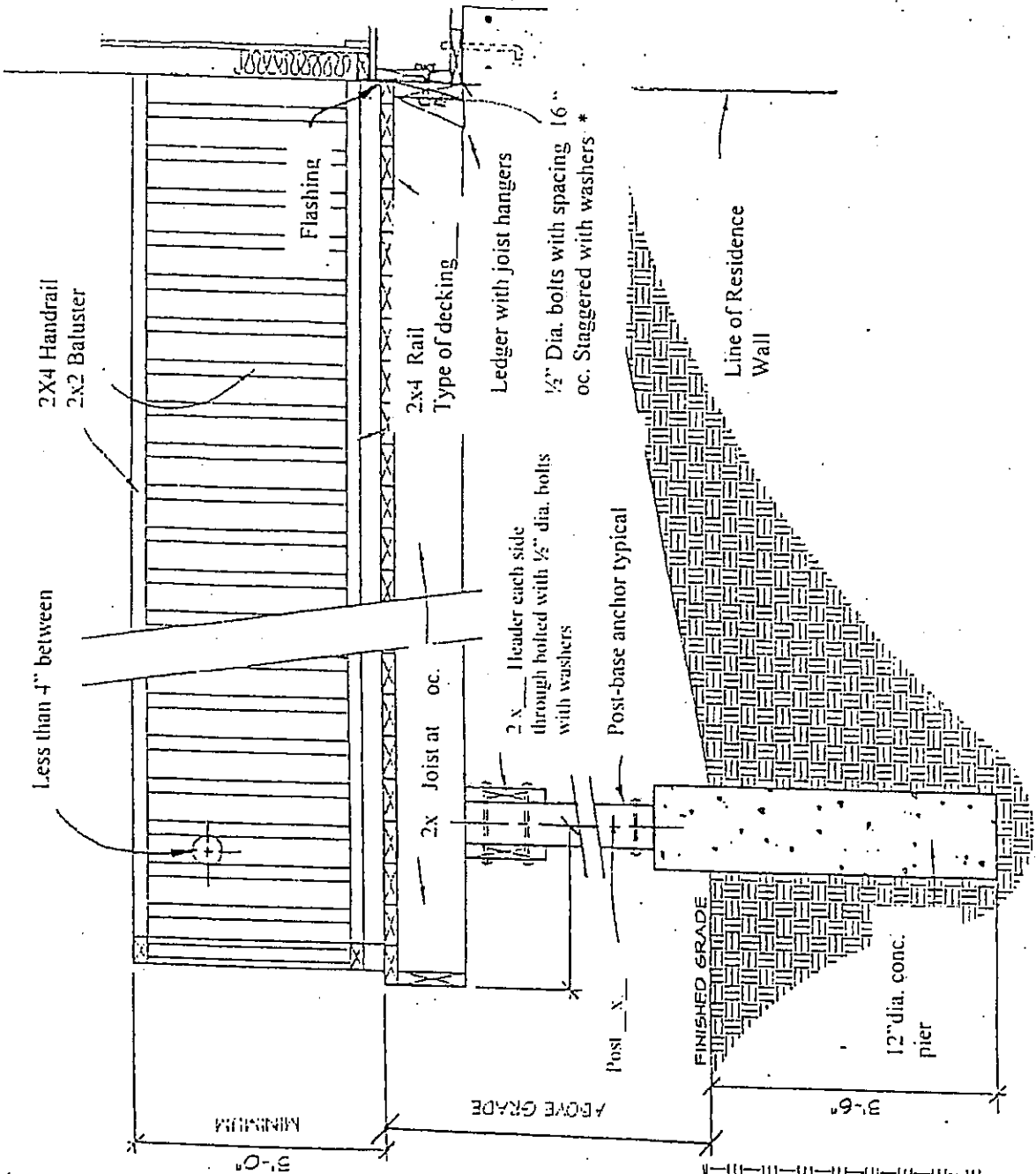
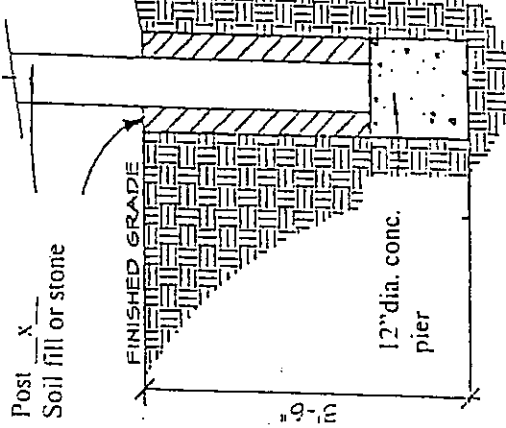


NOSING NOTE:
 1. MIN. 3/4"
 2. MAX. 1 1/4"

2x6 WD. BACKER BD.
 (PER R. 315.3.3 OF
 THE 2003 IRC)

EXT. TREAD / RISER

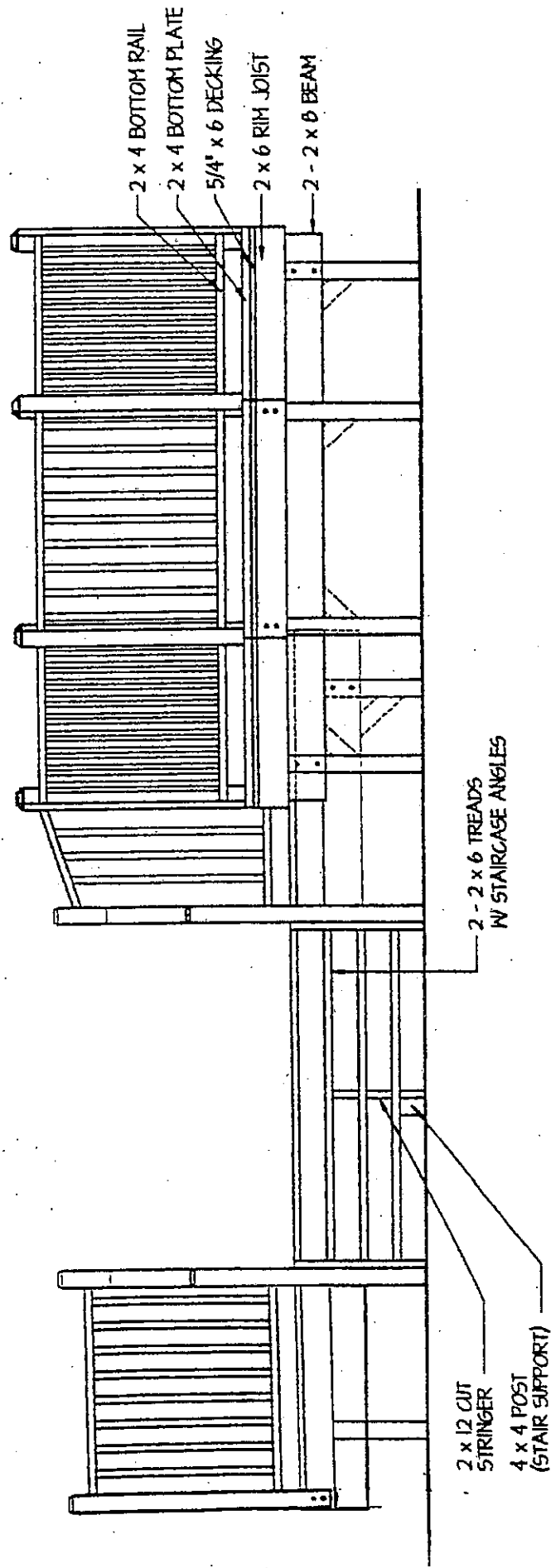
Distance Above Grade _____



Note: *

New house or addition construction requires
 "through bolting", No lag bolts.

DECK DETAIL



ELEVATION VIEW OF DECK

COUNTY OF KANE


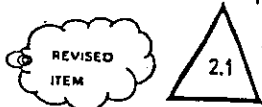
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BUILDING PLAN REVISIONS

TO AVOID POSSIBLE DELAYS IN APPROVAL OF YOUR PLANS PLEASE FOLLOW THESE PROCEDURES
ALL CORRECTIONS AND REVISIONS MUST BE MADE IN RED.

- 1) The Kane County Development Department, Building and Community Service Division must approve ALL revisions to approved building plans.
- 2) **FOR ALL REVISIONS:** (during application review process and after permit is issued)
Revisions may be made on the original submitted plan sets. If "new drawings" are submitted the originally submitted plan marked "permit copy" must be returned with two new plan sets.
 - a) Each revision set must be identified by a "revision #, item #" and date. The revision numbers must be sequential e.g. "first revision" 1.1, 1.2, 1.3, etc., 6-18-05, "Second revision" 2.1, 2.2, 2.3, etc., 7-10-05. Each revision must have a "cloud" drawn around it and "item number triangle" to call attention to its location on the plan.
Examples:  **NEXT →**  **CHANGE DATE**
 - b) Revisions in response to a Plan Review or Field Inspection Report must be added to the proper locations on the plans and correlated to the plan review or field inspection report. A EXAMPLE OF THIS IS ON THE REVERSE SIDE OF THIS SHEET.
 - c) Revisions to plans sealed by an Illinois licensed architect or Illinois structural engineer must be approved and added to the plans by that same professional.
 - d) Revisions prepared by an Illinois licensed architect or Illinois structural engineer must have their initials at each revision and be accompanied by two sealed copies of an approval letter confirming the added revisions.
 - e) New building plans may be required for plans that have extensive changes and/or are in a unreadable condition or damaged beyond reasonable repair, as determined by the Building Division.
 - f) No faxed or mailed revisions will be accepted.
- 3) **FOR REVISIONS TO APPROVED PERMIT PLANS:**
 - a) A \$50.00 minimum re-examination fee will be charged plus other fees e.g. "additional square footage."
 - b) The approved Permit Copy plan set must accompany all proposed revisions.
 - c) Submit all revisions for approval one week prior to any scheduled inspections. The Building Division cannot assure "on the spot" review of revisions. Major revisions may require review by other county departments.

SAMPLE OF CORRELATED PLAN EXAM SHEET



Building Plan Review Notice
County of Kane
Plan Review Notice

Make All Corrections in Red on Original Prints Submitted

Review # 1

Code Section	Comment
FOUNDATION PLAN	
R310 AMENDED	<p style="text-align: right;">SHT-4 5-2-06</p> <p>Basement Emergency escape and rescue opening (in sq.ft. net clear opening with sill height) well size (9 sq.ft. min.) and location ladder (Note: A removable sash does not meet code requirements). * NOTES ARE WRONG ON PLAN AND INCOMPLETE ATTACHMENT IS OK - REMOVE NOTE ON PLAN AND USE ATTACHMENT</p>
R407	<p style="text-align: right;">SHT-5 5-2-06</p> <p>Column size * BASEMENT</p>
WALL CROSS SECTION	
TABLES R404.1.1(1-4)	<p style="text-align: right;">SHT-4 5-2-06</p> <p>Foundation walls * SEALED DESIGN PER ARCHITECT/S.E. WITH ANY REQUIRED REINFORCEMENT - ALSO INCLUDE COMPLETE DETAIL OF RETAINING WALL AND REINFORCEMENT IF IT IS A POURED CONCRETE WALL ATTACHED TO FOUNDATION WALLS</p>
R403 AMENDED	<p style="text-align: right;">SHT-1 5-2-06</p> <p>Footing minimum 42" below grade Table R301.2(1)</p>
R602	<p style="text-align: right;">SHT 4 5-2-06</p> <p>Exterior walls & bearing partition framing - max 10'0" for 2x4 studs - stud size & spacing * WALKOUT FRAMED WALLS</p>
R806	<p style="text-align: right;">SHT 7 5-2-06</p> <p>Roof vents & eave vents - size and spacing per code requirements * EAVE VENTS AS CALLED FOR ABOVE</p>
R905	<p style="text-align: right;">SHT 7 5-2-06</p> <p>Roof coverings and weights - shingles & felt - ice shield underlayment (eave to 24" horz. past interior side of exterior wall). * ICE SHIELD AS NOTED IN RED ON WALL SECTION</p>
FLOOR PLAN	
TABLE R1003.1	<p style="text-align: right;">SHT-5 5-2-06</p> <p>Hearth extension - min 16" to front & 8" to sides of fireplace opening - if opening is 6 sq. ft. or greater than 20" to frt & 12" to sides * IF OPENING IS 6 SQ FT OR GREATER - AS CALLED FOR ABOVE</p>
R309	<p style="text-align: right;">SHT-4 5-2-06</p> <p>Fire resistant material - common walls to roof sheathing/common walls and ceiling. All walls, ceiling & steel (if living area above garage) solid core door (no glass) between house and garage * SOLID CORE DOOR TO HOUSE</p>
E3802	<p style="text-align: right;">SHT-8 5-2-06</p> <p>2002 NEC - GFCI: all outlets (bathroom-exterior-garage-kitchen) basement minimum of one (typical for all) [use single dedicated outlets for sump/furnace not GFI] - mark whirlpool location; follow 2002 NEC. * BASEMENT</p>
E3802	<p style="text-align: right;">SHT-8 5-2-06</p> <p>Include note on floor plans or electrical sheet, "Arc fault protection - all circuits supplying power to sleeping area per 2002 NEC."</p>

* This is an additional comment for item directly above.